

**THE MUNICIPALITY OF NORTH PERTH
COMMITTEE OF ADJUSTMENT
PROPOSED AGENDA**



Date: October 15, 2024
Time: 7:00 pm
Location: Municipality of North Perth Council Chambers

Pages

- 1. CALL TO ORDER**
- 2. LAND ACKNOWLEDGEMENT STATEMENT**

“We acknowledge that we are on the traditional land of the Anishnaabe people. We wish to recognize the long history of Indigenous People of Canada and show our respect to them today. We recognize their stewardship of the land, may we all live with respect on this land and live in peace and friendship.”

3. REGULAR MEETING:

- 3.1 Approve/amend Agenda
- 3.2 Disclosure of pecuniary interest and the general nature thereof.
- 3.3 Adoption and signing of the minutes as circulated.
- 3.4 Business arising from the minutes
- 3.5 Statement of Precedent

3 - 5

"That any decision reached by this Committee tonight can not be used to set a precedent."

4. NEW BUSINESS:

- | | | |
|-----|--|---------|
| 4.1 | Application for Minor Variance (File No. A05-2024) by Steve Greguol and Jen Rose for property legally described as Part Lot 5 and 6, Plan 258, Atwood | 6 - 23 |
| 4.2 | Application for Minor Variance (File No. A06-2024) by MHBC on behalf of Terra Park Developments for property legally described as Block 39 Plan 44M-10, Listowel | 24 - 34 |
| 4.3 | Application for Minor Variance (File No. A07-2024) by O'Malley Homes (Waterloo) Inc. for property legally described as Lot 15 Plan 44M-83, Listowel | 35 - 46 |

5. **OTHER BUSINESS:**

6. **CORRESPONDENCE:**

7. **ADJOURN:**

NORTH PERTH COMMITTEE OF ADJUSTMENT MINUTES

Date: August 20, 2024

Time: 7:00 pm

Members Present Brad Gibson
Bruce Wilken
Duane Duck
Earle Mayes

Members Absent Robert McLean
Teresa O'Reilly

Staff Present Interim Deputy Clerk/Committee Coordinator Heidi Dorscht

Others Present Perth County Planner Nathan Garland
Steve Korber, Applicant
Wendy Dunphy

1. CALL TO ORDER

Chair Bruce Wilken, called the meeting to order for the North Perth Committee of Adjustment on August 20, 2024, at 7:00 p.m. held in the North Perth Municipal Office - Committee Room.

2. LAND ACKNOWLEDGEMENT STATEMENT

"We acknowledge that we are on the traditional land of the Anishnaabe people. We wish to recognize the long history of Indigenous People of Canada and show our respect to them today. We recognize their stewardship of the land, may we all live with respect on this land and live in peace and friendship."

3. REGULAR MEETING:

3.1 Approve/amend Agenda

Moved by: Brad Gibson

Seconded by: Earle Mayes

THAT: The meeting Agenda for tonight's meeting, be approved.

CARRIED

3.2 Disclosure of pecuniary interest and the general nature thereof.

NORTH PERTH COMMITTEE OF ADJUSTMENT MINUTES

No one present declared a pecuniary interest with items on the Agenda.

- 3.3 Adoption and signing of the minutes as circulated.

Moved by: Duane Duck

Seconded by: Earle Mayes

THAT: The minutes of the May 21, 2024, meeting be adopted as printed and earlier distributed and be signed by the Chair and the Secretary.

CARRIED

- 3.4 Business arising from the minutes

There was not business arising from the minutes.

- 3.5 Statement of Precedent

Chair Wilken read the statement of precedent, "that any decision reached by this Committee tonight can not be used to set a precedent."

4. NEW BUSINESS:

- 4.1 Application for Minor Variance (File No. A04-2024) by Steve and Karlee Korber for property legally described as Plan 159, Part Lot 23 AS; 44R1857 Part 1, Listowel Ward, Municipality of North Perth (645 Binning Street W.)

Planner Garland provided a summary of the report and presentation.

Wendy Dunphy spoke in opposition with concerns about the small fence in yard. Chair Wilken advised the fence is not a matter to be considered by the committee. Planner Garland advised to his knowledge there was no intention to remove the fence.

No one spoke in support.

Applicant had a question about drainage. Discussion occurred regarding the drainage.

The following questions/comments were asked by the Committee:

- Discussion occurred regarding the condition about surveyor.

Moved by: Brad Gibson

Seconded by: Earle Mayes

THAT the North Perth Committee of Adjustment **approves** application file A04-2024, submitted by Steve and Karlee Korber, for lands described as Part Lot 23, Plan 159, in Listowel, municipally known as 645 Binning Street West, as it relates to:

NORTH PERTH COMMITTEE OF ADJUSTMENT MINUTES

1. Relief from Section 10.5.6 to reduce the minimum rear yard depth from 7.5 m (25 ft) to 5.79 m (19 ft) to facilitate the construction of a 1-storey residential addition, subject to the following conditions:
 - i. That approval is granted for 18 months from the date of the Committee’s decision; and
 - ii. A lot grading and drainage plan be provided to the satisfaction of the North Perth Building Department.
 - iii. To the satisfaction to Chief Building Official, an Ontario Land Surveyor or building staff provide confirmation the foundation forms are in compliance with the approved minor variance prior to pouring the foundation; and
 - iv. The minor variance only applies to the proposed bedroom addition.

CARRIED

5. OTHER BUSINESS:

5.1 Policy Review

Discussion occurred regarding current committee procedural by-law, the Code of Conduct and the Respectful Workplace Policy.

6. CORRESPONDENCE:

7. ADJOURN:

Moved by: Duane Duck

Seconded by: Brad Gibson

THAT: The meeting adjourns at 7:28 p.m.

CARRIED

Chair

Secretary-Treasurer

APPLICATION FOR MINOR VARIANCE

To: Municipality of North Perth Committee of Adjustment
Prepared by: Nathan Garland, Planner
Date: October 15th, 2024
File: MV5-2024
Owner: Steve Greguol and Jen Rose
Location: Legally described Part Lot 5 and 6, Plan 258, in Atwood. The property is located on the northeast corner of Fisher Avenue and King Street and is municipally known as 132 Fisher Avenue, in Atwood
Attachments: Report Photo
Site Sketch
Photo from King Street and Fisher Avenue

Recommendation

THAT the North Perth Committee of Adjustment **approve** application file MV5-2024, submitted by Steve Greguol and Jen Rose, for lands described as Part Lot 5 and 6, Plan 258, in Atwood, municipally known as 132 Fisher Avenue, as it relates to:

1. Relief from Section 10.5.5 to reduce the minimum exterior side yard width from 6 m (20 ft) to 2.43 m (8 ft) to facilitate the construction of a 1-storey attached garage, subject to the following condition:
 - i. That approval is granted for 18 months from the date of the Committee’s decision.
-

Background

Perth County Official Plan	Settlement Area – Residential
North Perth Zoning By-law	Residential Zone Four (R4)
Surrounding Uses	Single detached dwellings surrounding the property

Comments

Purpose of the Application

The subject application is proposing to reduce the required minimum exterior side yard width from 6 m to 2.43 m to construct a single-story attached garage on the west side of the existing single detached dwelling. The proposed addition will be approximately 70.69 m² in area. The existing residence on the property will remain with an overall footprint area of approximately 239 m² (2,573 ft²). The attached garage will be adjacent to King Street with driveway access to remain from Fisher Avenue. The site is fully serviced with Municipal water and sewer.

Agency Comments

No comments or concerns have been expressed at the time of writing this report.

Public Consultation

Public notice was provided to the neighbouring property owners on October 4, 2024 in accordance with the requirements of the Planning Act. At the time of writing this report, no comments or concerns had been received from the public.

Intent and Purpose of the Official Plan

The subject lands are designated Serviced Settlement Area - Residential according to the County of Perth Official Plan. Permitted uses in the Residential designation allow for single detached residential dwellings.

The proposed minor variance is being requested to facilitate the construction of an attached garage to a single detached dwelling. A single detached dwelling is a use contemplated by the relevant policies.

Intent and Purpose of the Zoning By-law

The subject lands are zoned Residential Zone Four (R4) according to the North Perth Zoning By-law. The zone permits single detached residential dwellings and accessory structures.

The intent of the exterior side yard width provision is to ensure that there is adequate area for grading and drainage, sightlines, and that the normal maintenance of the travelled portion of the street can be maintained.

The proposed development meets all other relevant requirements of the Zoning By-law. The garage is recessed and does not impact sightlines. As such, the minor variance application maintains the general intent and purpose of the North Perth Zoning By-law.

Desirable Development/Use

It is the opinion of the planning department that the requested relief to accommodate the addition of an attached garage to the single detached dwelling can be considered minor and desirable for the development of the subject property. The proposed development is not anticipated to have a negative impact on the neighbouring properties as the dwelling with addition will not exceed the maximum lot coverage for the R4 zone and meets all other relevant setback and height provisions. Sightlines will not be impacted due to the recessed nature of the development and stormwater will also not be impacted as there is an existing stormwater catch basin at the corner of the property. The proposed addition is at the same location of the existing driveway and will not require the relocation of the driveway or services.

Staff are of the opinion that the proposed request to reduce exterior side yard width will not impact the neighbouring landowners as there is still sufficient separation between the residences to provide adequate drainage and grading in the rear yard of the property. Encroachment towards the street is also not expected to impact the use or maintenance of the street. The proposed residence with addition does not exceed the maximum lot coverage provision as the lot coverage with the addition will be 33% and the maximum permitted coverage is 40%.

In light of the foregoing, planning staff recommend the approval of Minor Variance Application MV5-2024 as the proposed change is considered to be minor in nature, appropriate for the development or use of the land, and is considered to maintain the general intent and purpose of the Zoning By-law and the Official Plan, pursuant to Section 45(1) of the *Planning Act*.

Authored by: Nathan Garland
Planner

Approved submission by: Andrea Hächler
Director of Planning

Figure 1 - Report Photo



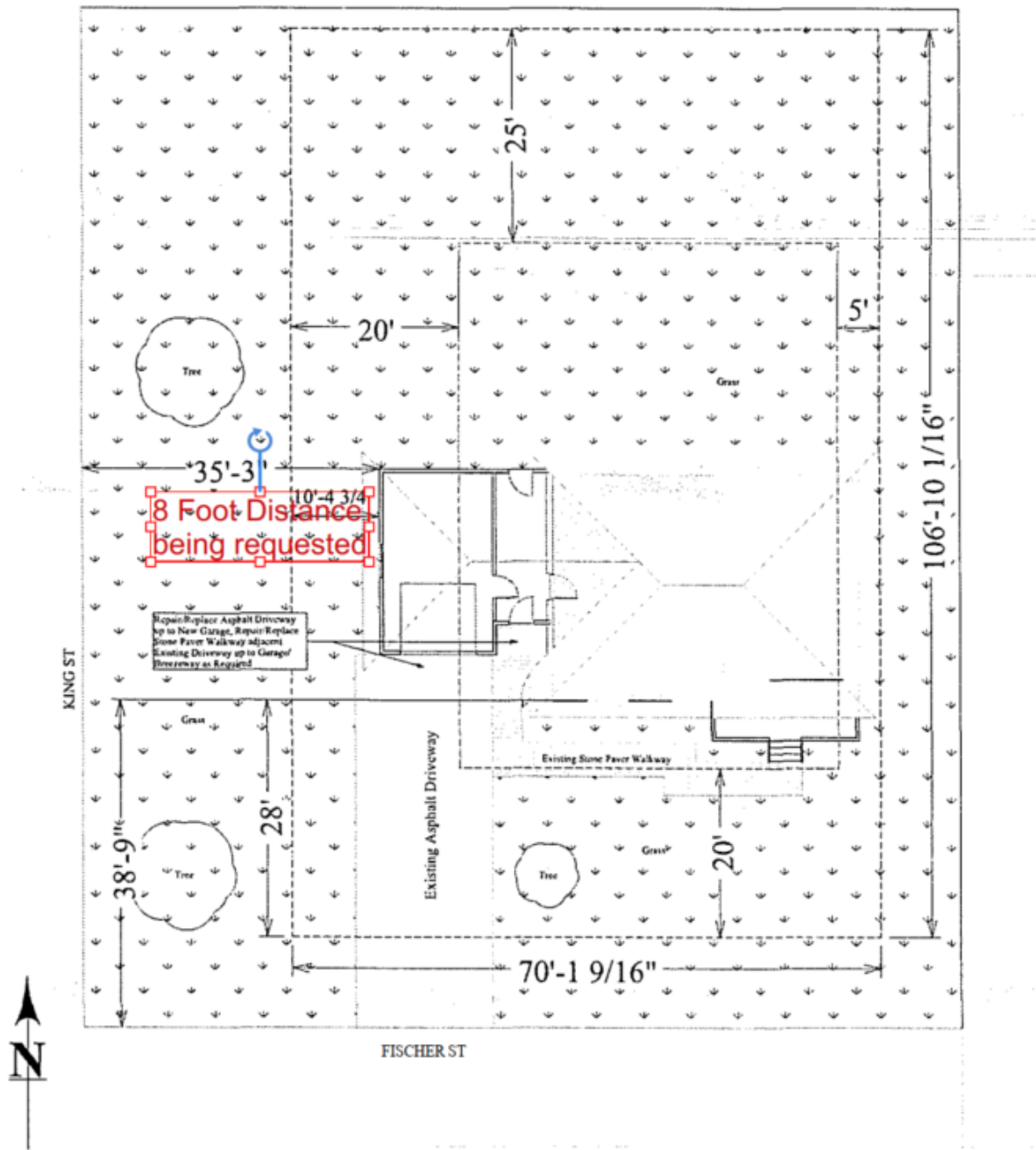
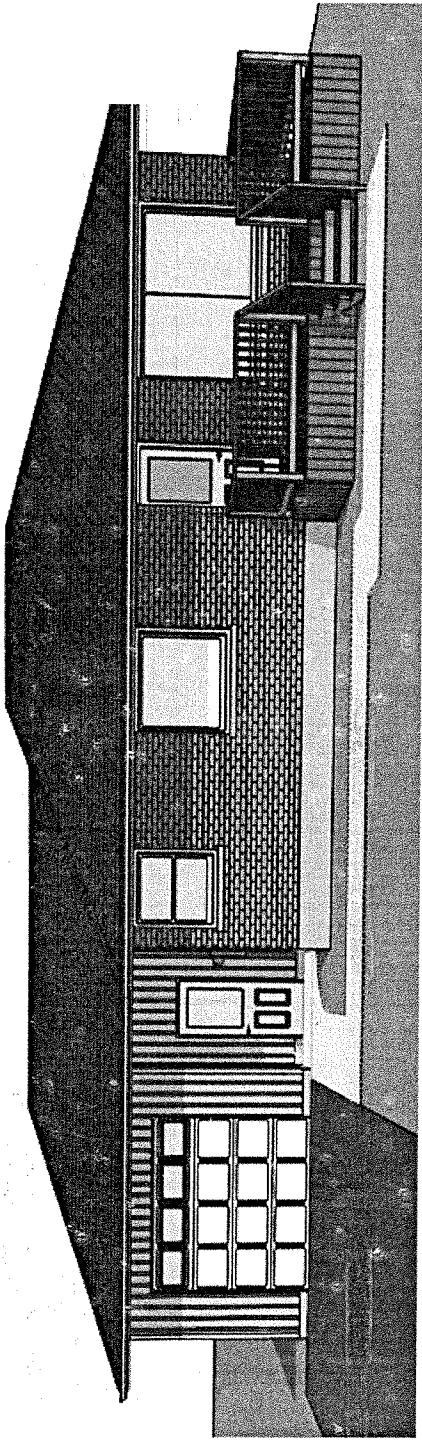


Figure 2 - Site Sketch



Figure 3 – Image facing North from Fisher Avenue

concrete
foundation



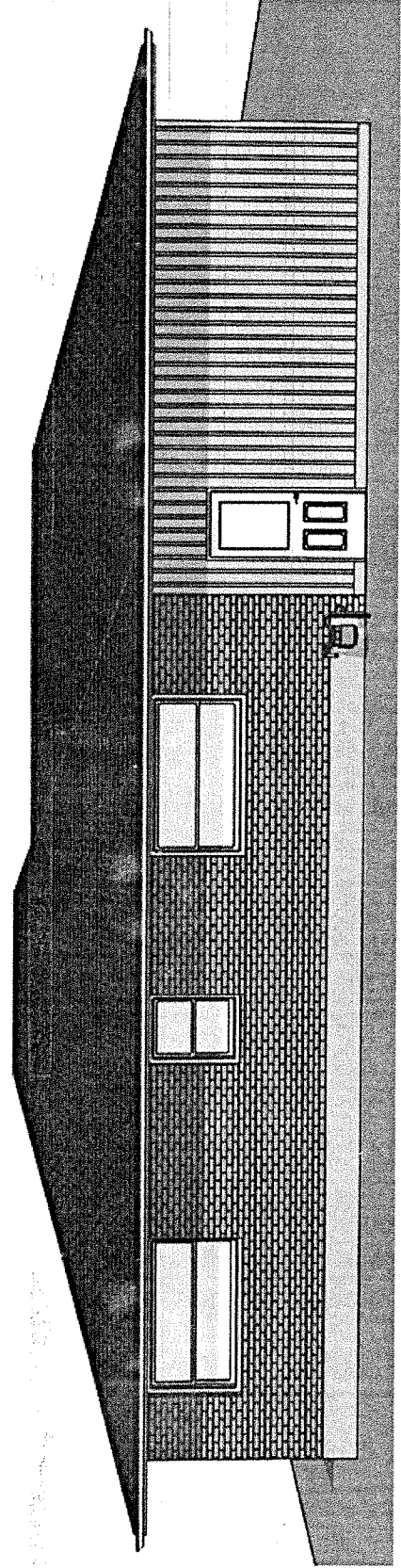
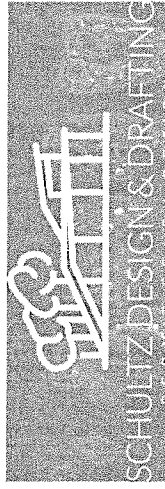
Steven Greguol & Jen Rose Garage Addition
 132 Fisher Ave, Atwood, ON N0G 1B0
 North Perth Lot 15 Con 9

INDEX OF PAGES

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- P1 - PROJECT INFORMATION
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- A2 - MAIN FLOOR PLAN
- A3 - ROOF PLAN
- E1 - ELEVATIONS
- D1 - CROSS SECTION

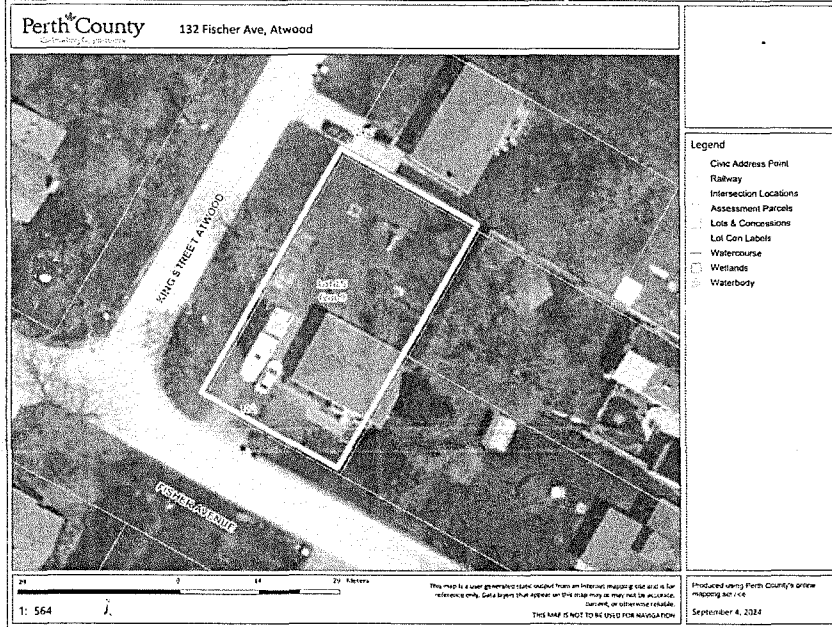
AREA CALCULATIONS

- FOUNDATION FOOTPRINT 2573 SQ.FT.
- MAIN LIVING AREA 1745 SQ.FT.
- GARAGE AREA 761 SQ.FT.
- PORCH AREA 67 SQ.FT.

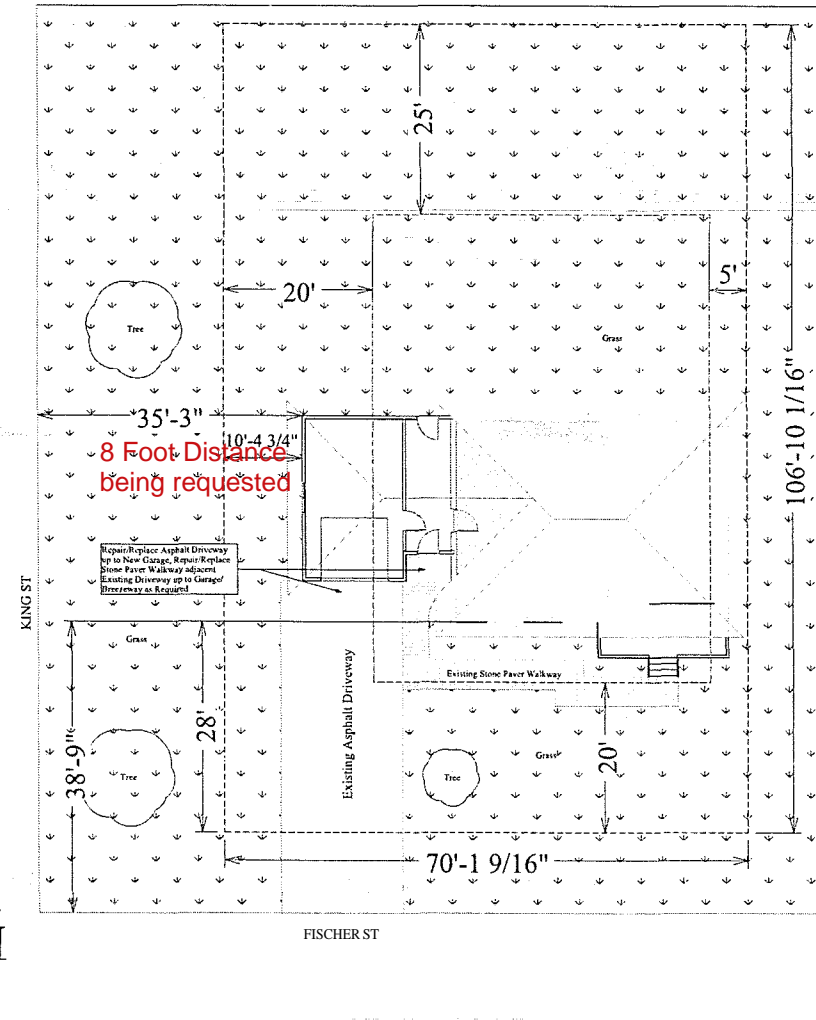


SITE PLAN NOTES:

1. Dimensions to property lines are approximate. This is not a Legal survey.
2. Provide a minimum 2% slope for adequate drainage away from the new building.
3. Provide eaves-trough connections from down spouts to Storm drains or Field tile.
4. Septic System Design and location not included. Septic design to be done by others.
5. The Contractor is responsible for site safety, protection and signage required by Canada's Occupational Health and Safety Act, including regulations under the Act.
6. In addition to the above the contractor is responsible for protection of open excavations, site equipment and vehicles.
7. The contractor is responsible for environmental protection of the site in accordance with the Occupational Health and Safety Act. Including but not limited to site environmental barriers, the storage and handling of hazardous materials, disposal of hazardous materials and managing material safety data sheets.
8. The contractor is responsible for obtaining site locales prior to excavation. Utility locales are not available or provided on this plan.
9. Landscaping contractors shall coordinate all work with other trades prior to commencing and throughout the construction process.
10. Grading to be confirmed with owner/general contractor/ project manager prior to backfill and landscaping.
11. No trees shall be cut down, altered or transplanted without notifying the township/ county having jurisdiction prior. Permission if required must be obtained before any work to trees is done.
11. Dimensions shown are in feet and can be converted to meters by multiplying by 0.3048



SITE PLAN 1/S1



SCALE: 1/16" = 1'

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 48 Charles St. P.O. Box 1041
 Wingham, ON N1Y 0G 2W0

Nathan Schultz
 n.schultz@shdm.com
 TEL: 519-955-5933

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The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in Div C of the Ontario Building Code to be a designer.

Qualification Information

Name: Nathan Schultz
 Signature: *Nathan Schultz*
 Registration Information: 39303 BCIN
 Firm Name: Schultz Design and Drafting Firm BCIN: 101620

Client/Project

Steven Creguel & Jen Rose Garage Addition
 132 Fischer Ave, Atwood, ON N0G 1B0
 North Perth Lot 15 Cen 9

Site Plan

Scale: /Vs per Plan	Date	Issued	Page
June 22, 2021	09-04-24	Issued For Review	S1
Drawn By: Nathan Schultz	09-08-24	Issued For Review	
Project No. 2021-066	09-11-24	Issued For Permit	

Foundation Notes

1. Footings shall bear on undisturbed soil, rock, or compacted granular fill and shall be a min of 4" below finished grade.
2. Drawings have been made for soil conditions than 1,560 PSF
3. Footings shall be kept free of standing water at the time of excavation.
4. Poured concrete foundation walls and footings shall have a compressed strength of no less than 20MPa after 28 days.
5. Concrete slabs shall have a compressed strength of no less than 12MPa after 28 days. Slabs shall be no less than 4" thick and be supported by compacted, clean granular fill.
6. Crack control joints in slabs shall not exceed 20' O.C.
7. Spray water on concrete floor for 2 weeks when concrete slab is sealed to achieve even curing between top and bottom of slab.

FOOTINGS:

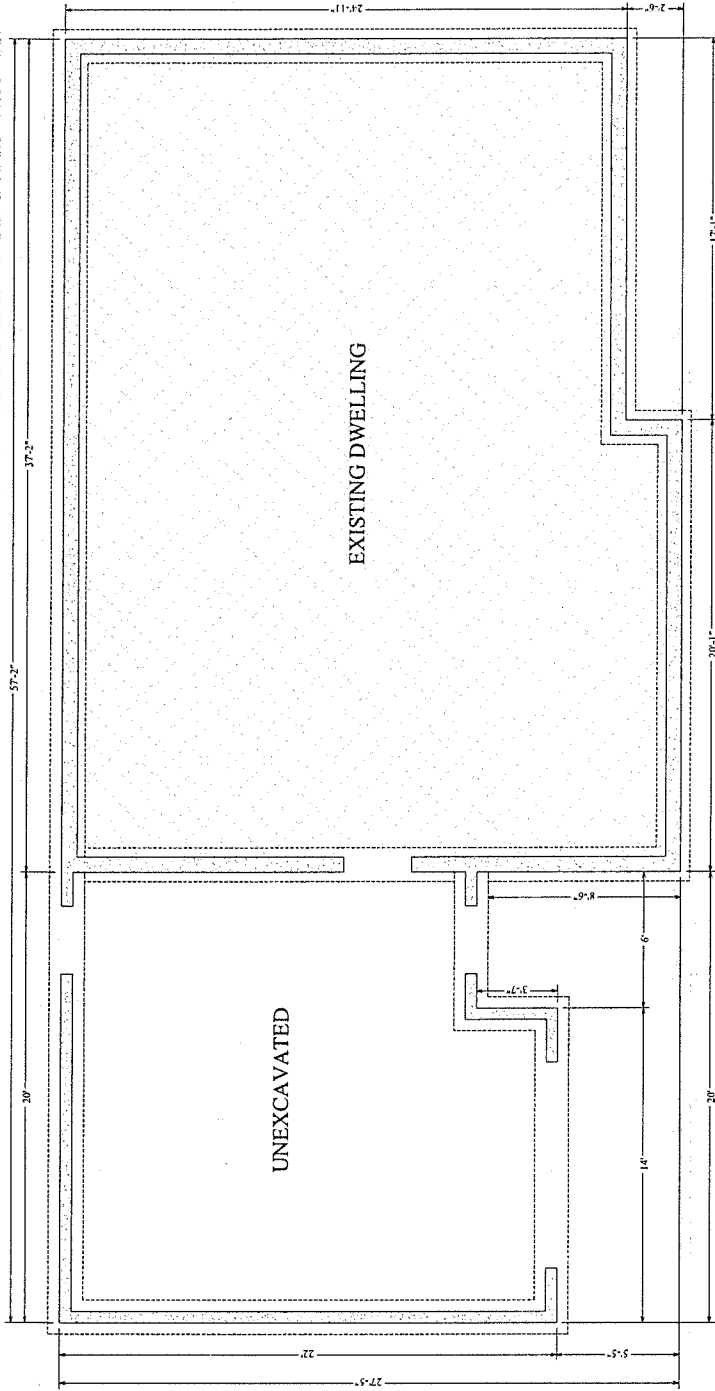
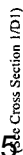
- 18" Wide x 16" Deep Ext Strip Footing
- 25 MPa Concrete

FOUNDATION WALLS:

- 6" FOUNDATION WALL
- (Optional) Spray Applied Damp-proofing
- 6" 25MPa Poured Concrete Foundation Wall
- 2-1/2" R10 Rigid Insulation

FLOOR:

- CONCRETE SLAB ON GRADE
- 6" 32MPa Poured Concrete o/w
- 6"x6"x6 Ga Welded Wire Mesh on
- 2-1/2" Rigid Insulation (R10, 16psi)
- 6 mil Poly Vapour Barrier, Joints Taped on
- 6" Compacted Granular 'A' Fill on
- Unexcavated Soil (75 kPa)



FOUNDATION PLAN 1/A1
SCALE: 3/16" = 1'

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Qualification Information
 Name: Nathan Schultz
 Signature: *Nathan Schultz*
 Registration Information: 393803 BCIN
 Firm Name: Schultz Design and Drafting Firm BCIN: 101620

Client/Project
 Steven Crawford & his Basic Group Addition
 122 Fisher Ave. Arwood, ON N0G 1B0
 North Perth Lot 15 Cwa 9

Foundation Plan

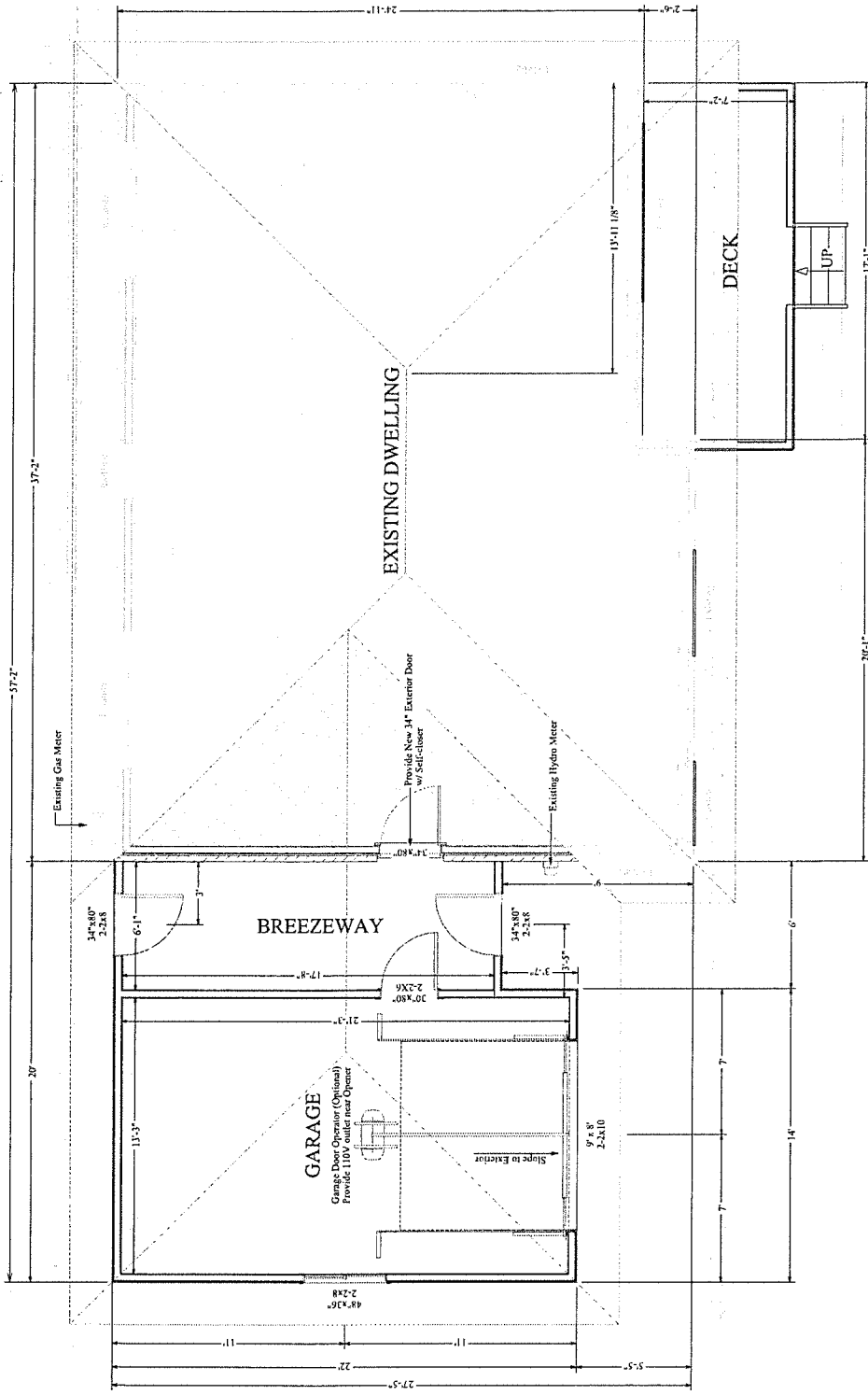
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Date: June 22, 2021	09-04-24	Issued For Review	AI
Drawn By: Nathan Schultz	09-08-24	Issued For Review	
Project No. 2021-066	09-11-24	Issued For Permit	

FLOOR PLAN NOTES:

1. Provide solid blocking from all point loads above to foundation
2. All exterior headers to be insulated
3. Any LVL, TGI, or Open web floor systems to be confirmed by manufacturers data sheets
4. All swinging doors that provide access directly or indirectly to dwelling units shall be provided with a deadbolt lock.
5. Dimensions are taken to the Outside of Concrete/Siding.
6. Align Exterior Finish (Siding) to Outside of Existing Brick Veneer.

WALL SCHEDULE:

- 2x4 SIDING EXTERIOR WALLS
- 1/2" Vinyl Board n Batten Siding
- Housewrap, Joints Taped
- 7/16" OSB, Horizontal
- 2x4 Studs 16" o/c
- 2x4 INTERIOR GARAGE WALL
- 1/2" Plywood Interior
- 2x4 Studs 16" o/c
- 1/2" Plywood Interior



MAIN FLOOR PLAN I/A2
SCALE: 3/16" = 1"

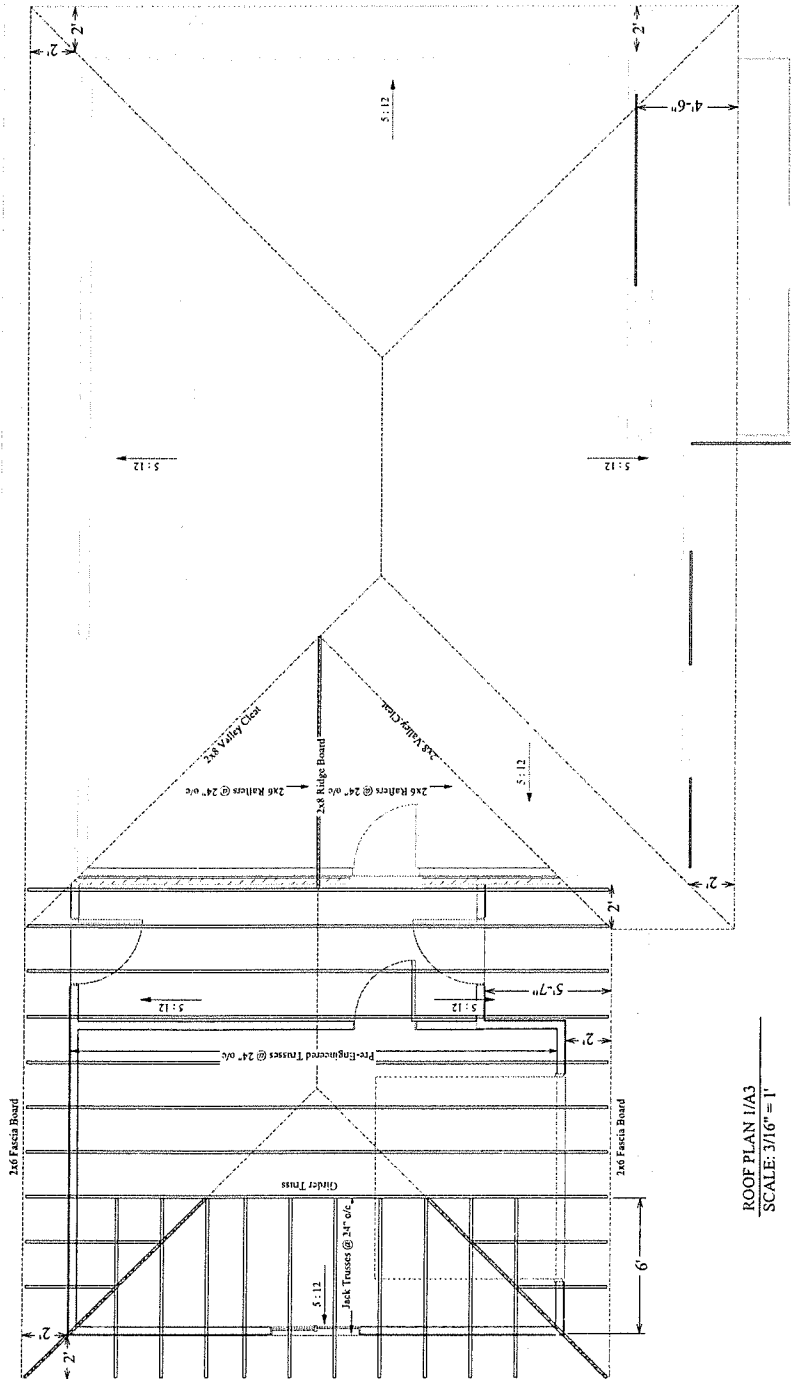
<p>Schultz Design and Drafting <small>38 Charles St. P.O. Box 1041 Wingham, ON N0G 2W0 NATHAN@SCHULTZDESIGN.COM TEL: 519-655-6936</small></p>	<p>The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in Div. C of the Ontario Building Code to be a designer.</p> <p>Nathan Schultz Signature Registration Information Firm Name: Schultz Design and Drafting Firm BCIN: 101620</p>	<p>Client/Project Steven Grogan & Jan Rose Cottage Addition 192 North Park Road North Park, Lot 15 Con 9</p> <p>Main Floor Plan</p>	<p>Scale: As per Plan Date: June 22, 2021 Drawn By: Nathan Schultz Project No. 2021-066</p>	<p>Page A2</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>Issued</th> <th>Date</th> <th>Issued For Review</th> </tr> </thead> <tbody> <tr> <td> </td> <td>09-04-24</td> <td>Issued For Review</td> </tr> <tr> <td> </td> <td>09-08-24</td> <td>Issued For Review</td> </tr> <tr> <td> </td> <td>09-11-24</td> <td>Issued For Permit</td> </tr> </tbody> </table>	Issued	Date	Issued For Review		09-04-24	Issued For Review		09-08-24	Issued For Review		09-11-24	Issued For Permit
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	09-04-24	Issued For Review														
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	09-11-24	Issued For Permit														

ROOF PLAN NOTES:

1. Maintain a minimum 10" heel for insulation and roof venting
2. Provide vented soffits and 1 1/2" venting between sheathing and insulation (install Moor vents)
3. Provide roof vents min. 1/300 sq.ft. or equivalent ridge venting
4. Provide Pre-engineered truss drawings to building department, prior to site inspection
5. Avoid piling of girder trusses on openings as possible.
6. Refer to Pre-engineered truss lay-out for girder-truss and truss placement.
7. Any and all conventional roof framing shall be 2x6 rafters @ 16" O.C. w/ spans not greater than 12'. Hip/Valley and Ridge boards are to be 2x8. Collar ties shall be 2x6.
8. Secure all truss bottom chords to interior walls.
9. Refer to Engineer Truss Layout for Girder Truss and Truss Placement and overlay framing. This Layout may be in variance with Engineers Layout; the Engineered Truss Layout shall take precedence over these plans; any discrepancies shall be reported to the designer immediately.
10. Provide Truss uplift connectors at Exterior Walls.

ROOF ASSEMBLY:

- PRE-ENGINEERED ROOF TRUSSES**
- 40 Year asphalt shingles
 - 2-Courses Ice&Water Shield @ eave
 - Synthetic roof membrane
 - 1/2" ply-wood c/w 'H' clips
 - Pre-Engineered roof trusses @ 24" o/c
 - bracing as per manufacturer
- 2X6 STICK FRAME OVERLAYS**
- 40 Year asphalt shingles
 - 2-Courses Ice&Water Shield @ eave
 - Synthetic roof membrane
 - 1/2" ply-wood c/w 'H' clips
 - 2x6 wood rafters 16" o/c
 - Collar ties on spans greater than 12'



ROOF PLAN 1/A3
SCALE: 3/16" = 1'

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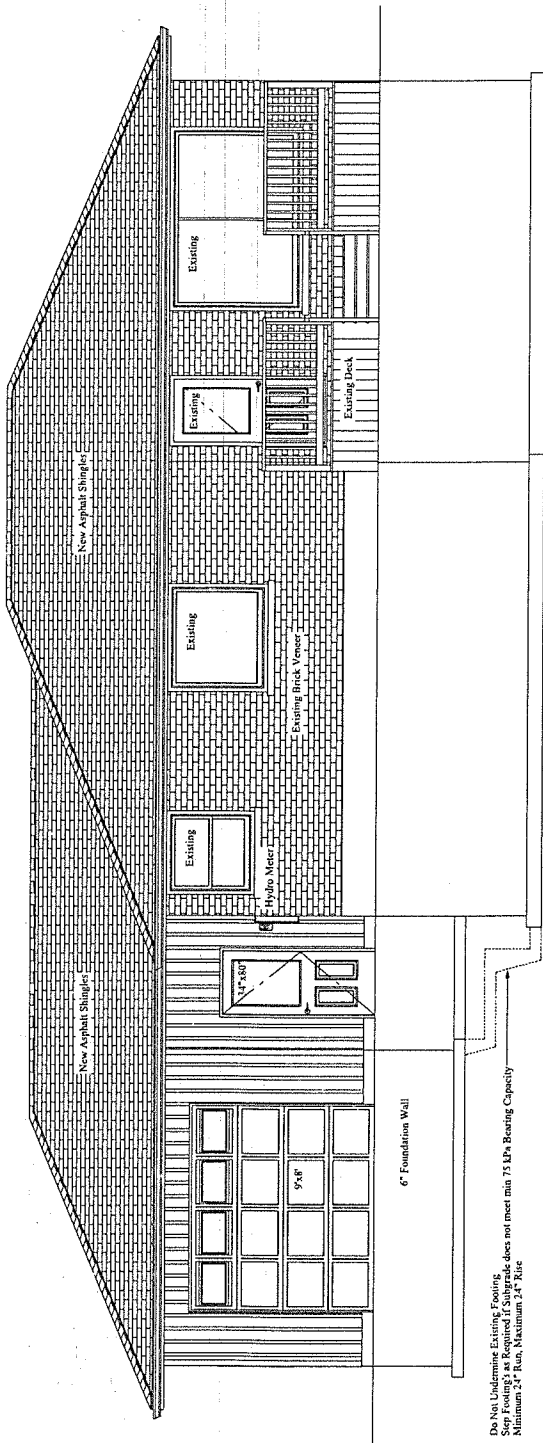
Qualification Information
 Name: Nathan Schultz
 Signature: *Nathan Schultz*
 Registration Information: 39383 BCIN
 Firm Name: Schultz Design and Drafting Firm BCIN: 101620

Client/Project
 Shaw Group & Ice Box Camps Addition
 133 Fisher Ave. Wood ON R6C 1B9
 North Peab Lot 15 Con 9

Scale: As per Plan
 Date: June 22, 2021
 Drawn By: Nathan Schultz
 Project No. 2021-066

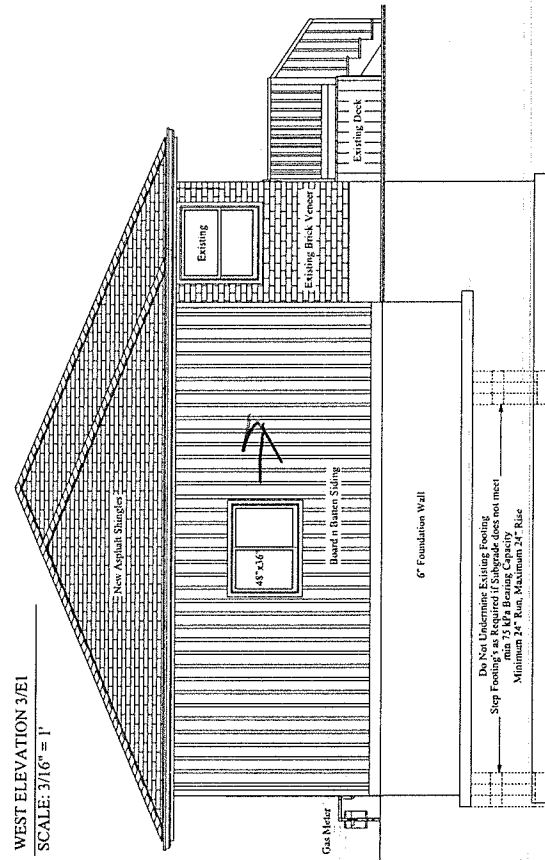
Roof Plan

Date	Issued	Page
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09-11-24	Issued For Permit	



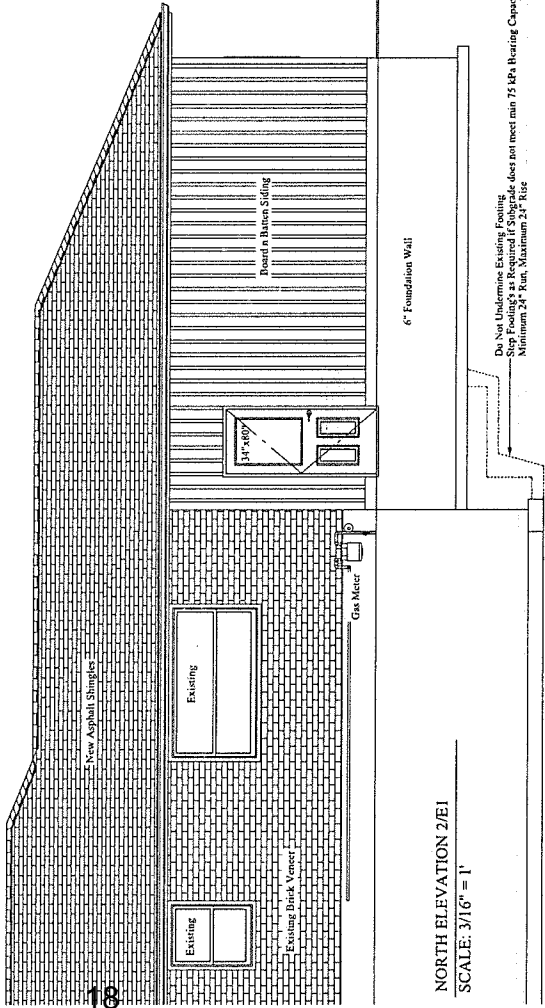
SOUTH ELEVATION 1/EI
SCALE: 3/16" = 1'

Do Not Undermine Existing Footing
Step Footing's as Required if Subgrade does not meet min 7.5 kPa Bearing Capacity
Minimum 24" Run, Maximum 24" Rise



WEST ELEVATION 3/EI
SCALE: 3/16" = 1'

Do Not Undermine Existing Footing
Step Footing's as Required if Subgrade does not meet
Minimum 24" Run, Maximum 24" Rise



NORTH ELEVATION 2/EI
SCALE: 3/16" = 1'

Do Not Undermine Existing Footing
Step Footing's as Required if Subgrade does not meet min 7.5 kPa Bearing Capacity
Minimum 24" Run, Maximum 24" Rise

Schultz Design and Drafting

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Windsor, ON N9C 2Y6
Tel: 519-957-8936



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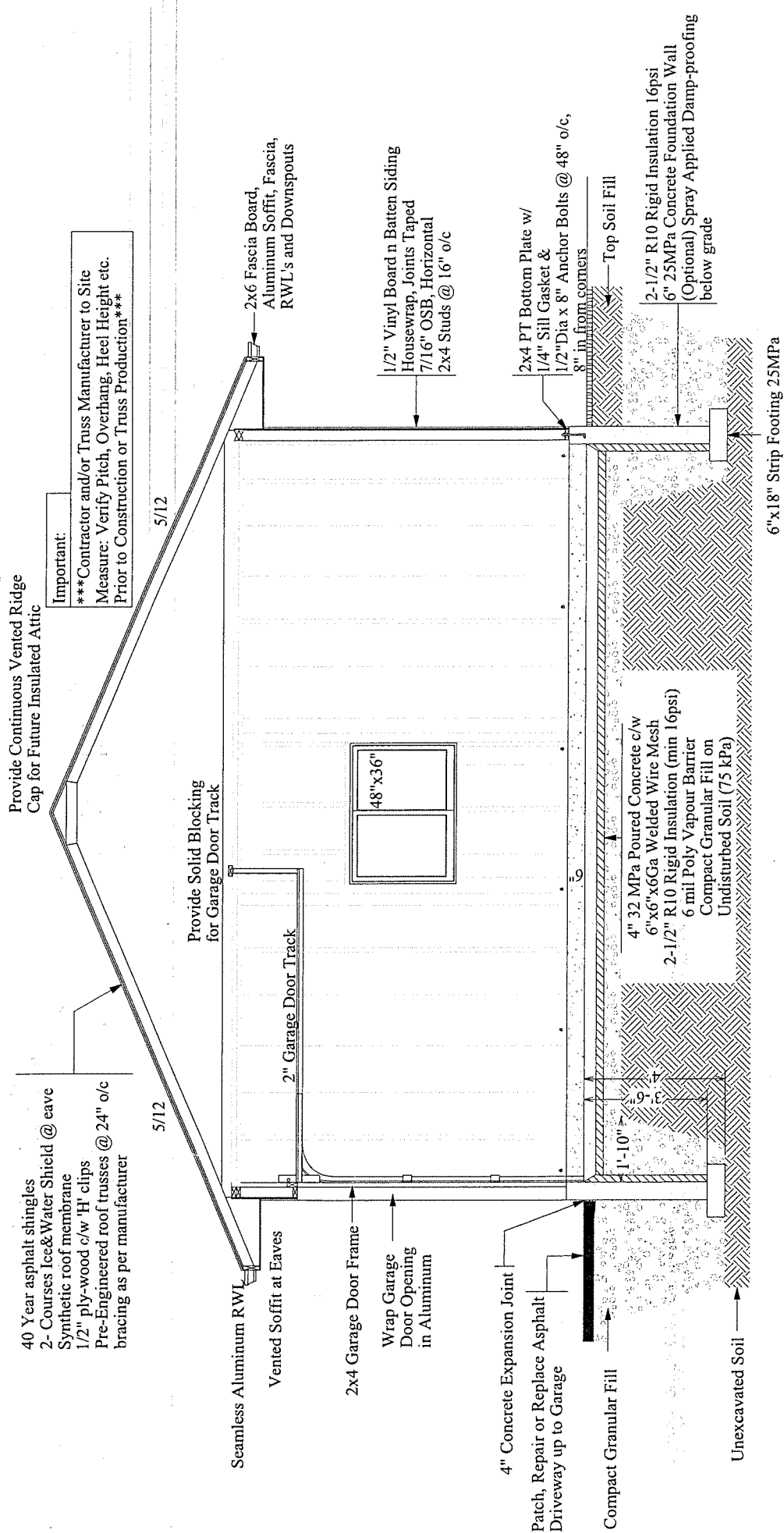
Nathan Schultz 39303 BCIN
Name Signature
Registration Information
Firm Name: Schultz Design and Drafting Firm BCIN: 101620

Client/Project
Steven Gregor & Jon Bow Garage Addition
112 Fisher Ave. Atwood, ON N0C 1B0
North Perth Lot 15 Con 9

Elevations

Scale: As per Plan
Date: June 22, 2021
Drawn By: Nathan Schultz
Project No. 2021-066

Date	Issued
09-04-24	Issued For Review
09-08-24	Issued For Review
09-11-24	Issued For Permit



Provide Continuous Vented Ridge Cap for Future Insulated Attic

40 Year asphalt shingles
 2- Courses Ice & Water Shield @ eave
 Synthetic roof membrane
 1/2" ply-wood c/w 'H' clips
 Pre-Engineered roof trusses @ 24" o/c
 bracing as per manufacturer

Important:
 Contractor and/or Truss Manufacturer to Site Measure: Verify Pitch, Overhang, Heel Height etc. Prior to Construction or Truss Production

5/12

Provide Solid Blocking for Garage Door Track

2" Garage Door Track

Seamless Aluminum RWL

Vented Soffit at Eaves

2x4 Garage Door Frame

Wrap Garage Door Opening in Aluminum

48"x36"

4" Concrete Expansion Joint

Patch, Repair or Replace Asphalt Driveway up to Garage

1'-10"

Compact Granular Fill

Unexcavated Soil

2x6 Fascia Board, Aluminum Soffit, Fascia, RWL's and Downspouts

1/2" Vinyl Board n Batten Siding Housewrap, Joints Taped 7/16" OSB, Horizontal 2x4 Studs @ 16" o/c

2x4 PT Bottom Plate w/ 1/4" Sill Gasket & 1/2" Dia x 8" Anchor Bolts @ 48" o/c, 8" in from corners

Top Soil Fill

2-1/2" R10 Rigid Insulation 16psi 6" 25MPa Concrete Foundation Wall (Optional) Spray Applied Damp-proofing below grade

6"x18" Strip Footing 25MPa

CROSS SECTION I/D1
 SCALE: 3/8" = 1'

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 Vaughan, ON M0G 2W0
 Tel: 519-955-5956

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The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in Div C of the Ontario Building Code to be a designer.

Qualification Information
 Nathan Schultz
 Signature
 Registration Information
 39303 BCIN
 Firm Name: Schultz Design and Drafting Firm BCIN: 101620

Client/Project
 Steven Engquist & Jen Rose Garage Addition
 124
 North Peck Lot 15 Con 9

Cross Section

Scale: As per Plan
 Date: June 22, 2021
 Drawn By: Nathan Schultz
 Project No. 2021-066

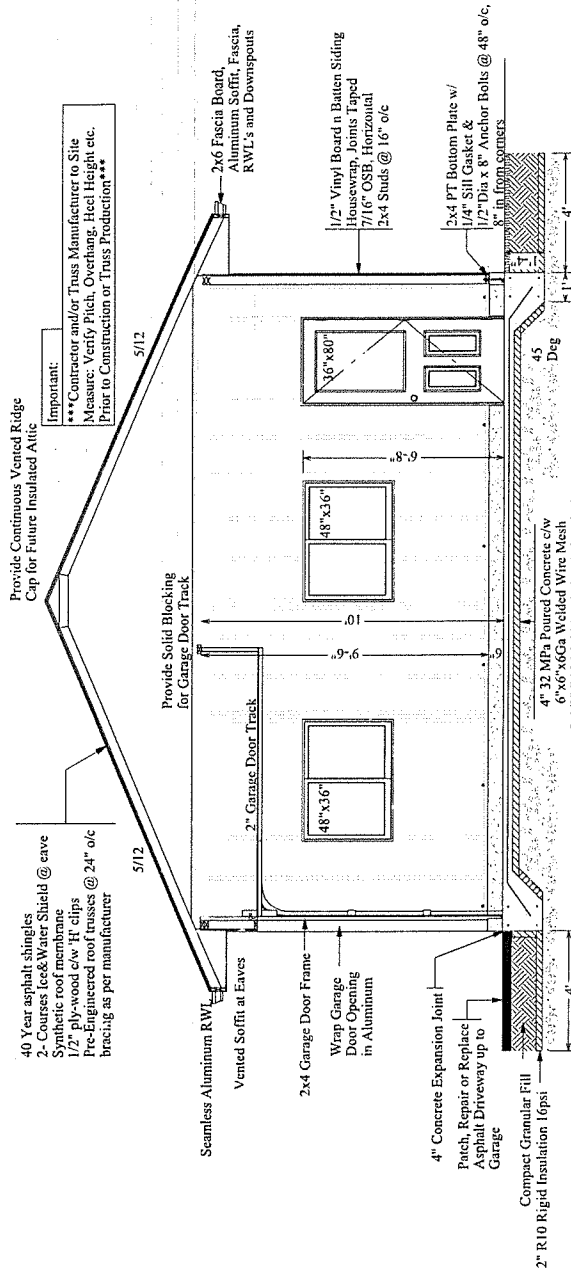
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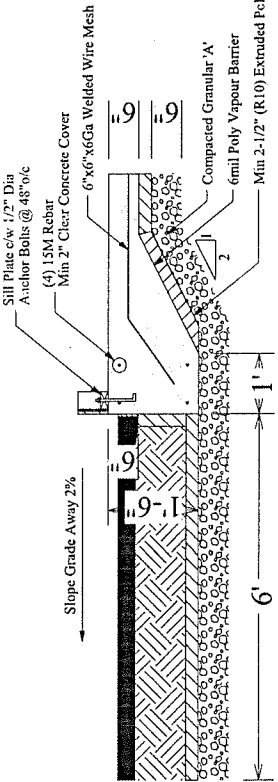
GENERAL NOTES:

- FOUNDATIONS:**
- REMOVE ALL TOPSOIL AND ORGANIC MATERIAL FROM THE BUILDING AREA.
 - SLAB MUST BE CARRIED DOWN TO NATURAL UNDISTURBED SOIL CAPABLE OF SUSTAINING 1500 PSF (75 kPa) (STRUCTURE UNDER PART 9) OR 3000 PSF (150 kPa) (ALL OTHER STRUCTURES) ALLOWABLE SOIL BEARING PRESSURE.
 - IF GRADE IS TO BE BUILT UP, GRANULAR FILL IS TO BE USED & COMPACTED TO A MAXIMUM OF 6" LIFTS. FILL & COMPACTION TO BE CONFIRMED BY GEOTECHNICAL ENGINEER.
 - IF INSULATION IS SHOWN ON DRAWINGS PROVIDE INSULATION AS PER CANADIAN FOUNDATION FOUNDATION CODE.
 - UNDER SLAB INSULATION, IF NOT INSTALLED, CLIENT/CONTRACTOR ACCEPTS THE POTENTIAL OF CRACKING/HEAVING OVER TIME (IF BUILDING IS NOT HEATED) OR HEAT LOSS (IF BUILDING IS HEATED).
 - PERIMETER INSULATION, IF NOT INSTALLED, CLIENT/CONTRACTOR ACCEPTS THE POTENTIAL OF CRACKING/HEAVING OVER TIME.
 - IF SLAB IS INSULATED, BRICK VENEER MAY BE USED UP TO MAXIMUM OF 4'-0" ABOVE SLAB.
 - CLIENT/CONTRACTOR TO CONFIRM SLAB DIMENSIONS BEFORE ORDERING MATERIAL & CONSTRUCTION.
- CONCRETE:**
- ALL CONCRETE ON THIS PROJECT SHALL HAVE A MINIMUM OF 28-DAY COMPRESSIVE STRENGTH OF 32 MPa.
 - ALL AIR ENTRAINMENT AND MAX. WATER-TO-CEMENT RATIO.
 - ALL REINFORCEMENT IS TO BE GRADE 400 MPa.
 - REBAR SPICE LENGTH, 15M BAR: 18" LAP; WELDED WIRE MESH (WWM): 9" LAP.
 - ALL CONCRETE WORK SHALL BE CARRIED OUT IN ACCORDANCE TO THE LATEST EDITION OF THE NATIONAL BUILDING CODE, CANCSA-A 23.1/A23.2-A/90 AND LOCAL BY-LAWS.
 - CONCRETE COVER SHALL BE AS FOLLOWS:
 - WHERE CONCRETE IS IN CONTACT WITH EARTH (I.E. FOOTINGS)
 - WHERE IN FORMS OR WEATHER OR EARTH (I.E. SIDE OF FLOATING SLAB)
 - SLAB ON GRADE SHALL BEAR ON MINIMUM 6" GRANULAR 'A' FILL (COMPACTED TO 98% SPDD) ON ORIGINAL SUBGRADE.
 - SLOPE GRADE AWAY FROM BUILDING.
 - SLAB IS NOT TO BE POURED ON FROZEN GROUND.
 - SLAB IS TO BE POURED MONOLITHICALLY @ ONE TIME.
 - SLIP JOINTS ARE RECOMMENDED FOR ALL UTILITY CONNECTIONS.

- REVIEW OF FLOATING SLABS:**
- IF REVIEW & SIGN OFF OF THE FLOATING SLAB IS REQUIRED, PROVIDE PHOTOS OF THE FOLLOWING ITEMS TO NATHAN SCHULTZ ENGINEERING LTD. (NEL) FOR REVIEW BEFORE CONCRETE IS POURED:
- FORM (INCLUDING A TAPE MEASURE FOR SCALE, SHOWING DEPTH OF FORMS)
 - REBAR (INCLUDING A TAPE MEASURE FOR SCALE, SHOWING PLACEMENT & CONCRETE COVER)
 - INSULATION (IF PRESENT)



CROSS SECTION 1/D1
SCALE: 3/16" = 1'



FOOTING DETAIL 2/D1
SCALE: 1/2" = 1'

Schultz Design and Drafting
 48 Charles Jr., P.O. Box 1941
 Vaughan, ON M0G 2W0
 Website: SchultzDesign.com
 Call: 519-955-5938

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The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in Div. C of the Ontario Building Code to be a designer.

Qualification Information
 Name: Nathan Schultz
 Registration Information: BCIN 39303
 Signature: Nathan Schultz
 Firm Name: Schultz Design and Drafting Firm BCIN: 101620

Client/Project
 Steven Grampal & In Base Garage Addition
 132 Fisher Ave. Anson, ON M0G 1B0
 North Perth Lot 15 Con 9

Cross Section

Scale: As per Plan
 Date: June 22, 2021
 Drawn By: Nathan Schultz
 Project No. 2021-066

Date	Issued	Page
09-04-24	Issued For Review	DI
09-08-24	Issued For Review	
09-11-24	Issued For Permit	







APPLICATION FOR MINOR VARIANCE

To: Municipality of North Perth Committee of Adjustment
Prepared by: Nathan Garland, Planner
Date: October 15th, 2024
File: MV6-2024
Owner: Terra Park Developments (Jaegap Chung)
Applicant: MHBC (Pierre Chauvin)
Location: Legally described Block 39 Plan 44M-10, in Listowel. The property is located between Nelson Avenue South and Havelock Avenue South, and is municipally known as 595 Havelock Avenue South, in Listowel
Attachments: Report Photo
Site Sketch
Stormwater Sketch
Photo from Nelson Avenue South and Havelock Avenue South

Recommendation

THAT the North Perth Committee of Adjustment **approve** application file MV6-2024 submitted by Pierre Chauvin on behalf of Terra Park Developments for lands described as Block 39 Plan 44M-10, in Listowel, municipally known as 595 Havelock Avenue South, as it relates to:

1. Relief from Section 12.2.6 to reduce the minimum rear yard depth from 10.5 m (35 ft) to 7.28 m (23.9 ft) and;
2. Section 12.2.9 to reduce the minimum required landscaped open space from 35% of the lot area to 31% to recognize the existing seniors' buildings and proposed lot lines as per Consent application B12-24, subject to the following condition:
 - i. Finalize an amended site plan agreement to the satisfaction of the Municipality of North Perth.

Background

Perth County Official Plan	Settlement Area – Serviced Urban Area
Listowel Official Plan	Residential
North Perth Zoning By-law	Special Residential Zone Six (R6-4)

Surrounding Uses

Single detached dwellings to the east, a retirement home to the south, commercial businesses to the west and vacant land to the North

Comments

Purpose of the Application

The subject application is requesting to reduce the minimum rear yard depth from 10.5 m (6 ft) to 7.28 m (23.8 ft) and to reduce the minimum required landscaped open space from 35% of the lot area to 31% to recognize the existing seniors' buildings and reduced lot area as a result of Consent application B12-24. No changes to the building or structure are proposed, however the applicant has provided an updated stormwater management scheme to address the changes in stormwater on site. The site is fully serviced with municipal water and sewer.

Agency Comments

No comments were provided at the time of writing this report. North Perth Council supported the severance application on May 27th, 2024.

Public Consultation

Public notice was mailed to the neighbouring property owners and posted on the subject property on October 4th, 2024. No comments were provided at the time of writing this report.

Intent and Purpose of the Official Plan

The subject lands are designated Residential according to the Listowel Official Plan. Permitted uses in the Residential designation allow for multi-residential dwellings, including apartments. Section 5 of the Listowel Official Plan provides goals, objectives and policies when considering residential development applications within the Listowel Ward. In regard to the development of apartments, Section 5.5.6 states the following:

5.5.6 Triplex, Fourplex, Row/Townhouse and Apartment Dwellings

The following specific policies shall be applied when proposals involving triplex, fourplex, row/townhouse and apartment dwellings, as well as other multiple dwelling development are evaluated:

- a) such development should be situated in close proximity to community and neighbourhood recreation and open space areas and have ready access to commercial facilities;*

- b) *such development shall generally have access to an arterial or collector road in order to minimize high volumes of traffic movement through adjoining lower density residential areas. Access points onto municipal roadways should not create conditions that are hazardous to traffic;*
- c) *such development shall provide for adequate landscaping buffering, and screening in order to enhance the appearance of the development and to minimize the land use conflicts with adjacent land uses, including the travelling public;*
- d) *the buildings and structures for this type of development shall be designed in such a way that they are in keeping with the attributes of the neighbourhood in terms of building type, building form, spatial separation. When evaluating the attributes of the neighbourhood, regard shall be given to lot fabric (i.e., area, frontage, and depth), and built form (i.e., setbacks, massing, scale, and height). In cases where one or more of the existing zone provisions are not met, an amendment or a minor variance to the zone provisions may be considered to permit the proposed development provided that the spirit of this Section is maintained;*
- e) *triplex, fourplex, row/townhouse and apartment dwellings, as well as other multiple dwelling development dwellings shall be encouraged to be developed in groups or clusters rather than in scattered form;*
- f) *a specific zoning category shall be established in the implementing Zoning By-law to reflect existing row/townhouse and apartment dwelling development. An amendment to the implementing Zoning By-law shall be required in order to establish a new row/townhouse and low-rise apartment dwelling use;*
- g) *adequate road access and off-street parking areas shall be provided, the number of parking spaces required shall be set out in the implementing Zoning By-law;*
- h) *a site plan agreement under the authority of Section 41 of the Planning Act, R.S.O. 1990, shall be required for all multiple unit residential development involving more than 2 dwelling units, except conversions of existing dwellings to multiple residential use.*

The site plan shall indicate proposed building area, building elevations, parking and landscaping areas, points of access to abutting streets, elevation plans indicating the lot grades before and after construction, and a surface drainage plan.

The proposed minor variance is being requested to satisfy a condition of a severance to recognize deficiencies relating to the rear yard depth and landscaped open space, resulting from the severance. No changes to the Listowel Official Plan designation are required to support the application. Official Plan Policies outlined in Section 5.5.6 provide the goals within the Residential Apartment – Section 5.5.6 (d) states:

In cases where one or more of the existing zone provisions are not met, an amendment or a minor variance to the zone provisions may be considered to permit the proposed development provided that the spirit of this Section is maintained.

Intent and Purpose of the Zoning By-law

The subject lands are zoned Special Residential Zone Six (R6-4) according to the North Perth Zoning By-law. The zone permits seniors and retirement buildings and accessory structures.

The intent of the minimum rear yard depth and landscaped open space is to provide sufficient area for grading, drainage, outdoor amenity space and separation from adjacent properties.

The proposed development meets all other relevant requirements of the Zoning By-law with respect to lot area, frontage, lot coverage and all other setbacks.

Desirable Development/Use

It is the opinion of the planning department that the requested relief to accommodate the reduction in rear yard depth and landscaped open space resulting from the recent consent, can be considered minor and desirable for the development of the subject property. The proposed development is not anticipated to have a negative impact on the neighbouring properties as the building is existing and a stormwater management plan has been submitted and accepted in support of the reduction in landscaped open space. The site is also serviced with Municipal water and sewer no changes to the servicing are anticipated.

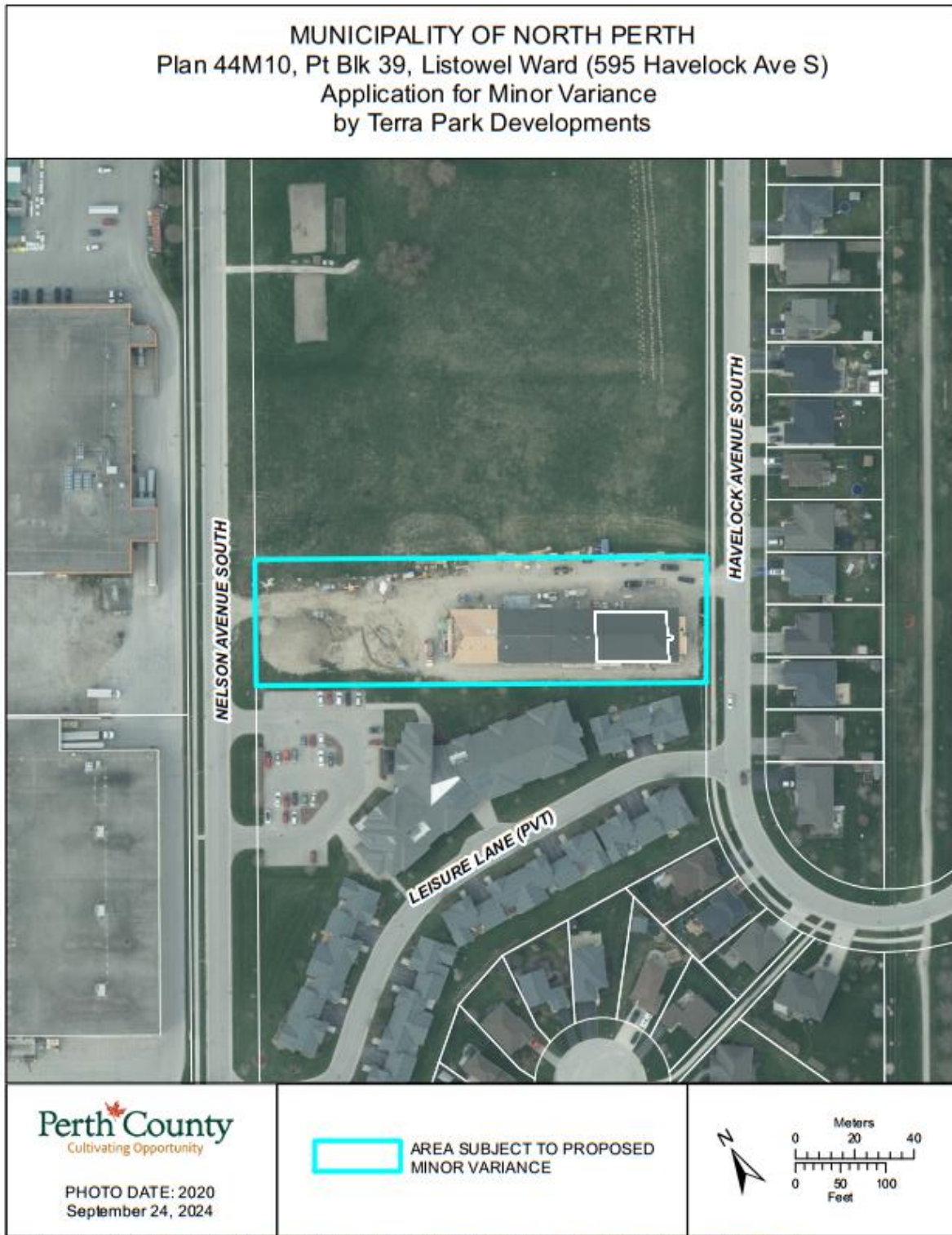
Further, staff are satisfied that adequate space is being maintained to provide area for grading, outdoor amenity area and separation from neighbouring properties.

Therefore, planning staff recommend the approval of Minor Variance Application MV6-2024 as the proposed change is considered to be minor in nature, appropriate for the development or use of the land, and is considered to maintain the general intent and purpose of the By-law and of the Official Plan, pursuant to Section 45(1) of the *Planning Act*.

Authored by: Nathan Garland
Planner

Approved submission by: Andrea Hächler
Director of Planning

Figure 1 - Report Photo



Consent Sketch

TERRA PARK DEVELOPMENT
PART OF BLOCK 39 REGISTERED PLAN 44M-10
MUNICIPALITY OF NORTH PERTH
COUNTY OF PERTH


- LEGEND:**
- Subject Lands
 - Severed Lands ($\pm 1,692m^2$)
 - Retained Lands ($\pm 4,856m^2$)

Residential Zone Six (R6) Provisions Municipality of North Perth Zoning By-law		
	Required (min)	Provided
Lot Area	1,000 m ²	4,856m ²
Lot Frontage	20.0m	42.7m
Front Yard	7.5m	7.8m
R.E. Side Yard	6.0m	7.8m
E.R. Side Yard	7.5m	n/a
Rear Yard	10.5m	7.3m
Building Height (max.)	12.0m	TBD
Lot Coverage (max.)	40%	28%
Landscaped Open Space	35%	31%
Parking	TBD	50 spaces
2-amp/7-amp Curb Boxes	0/1 meter 1 each	1/1 meter 1 each

Notes:

- Site Plan from U.T.C. January 18, 2024
- For conceptual purposes
- To be verified by survey

Date: September 18, 2024
 Scale: 1:500
 File: 17122A
 Drawn: PL



PLANNING
 URBAN DESIGN & LANDSCAPE
MHBC ARCHITECTURE

3000 BROADWAY CENTER #1000 VANCOUVER BC V6Z 2Y1 | TEL: 604.271.1111

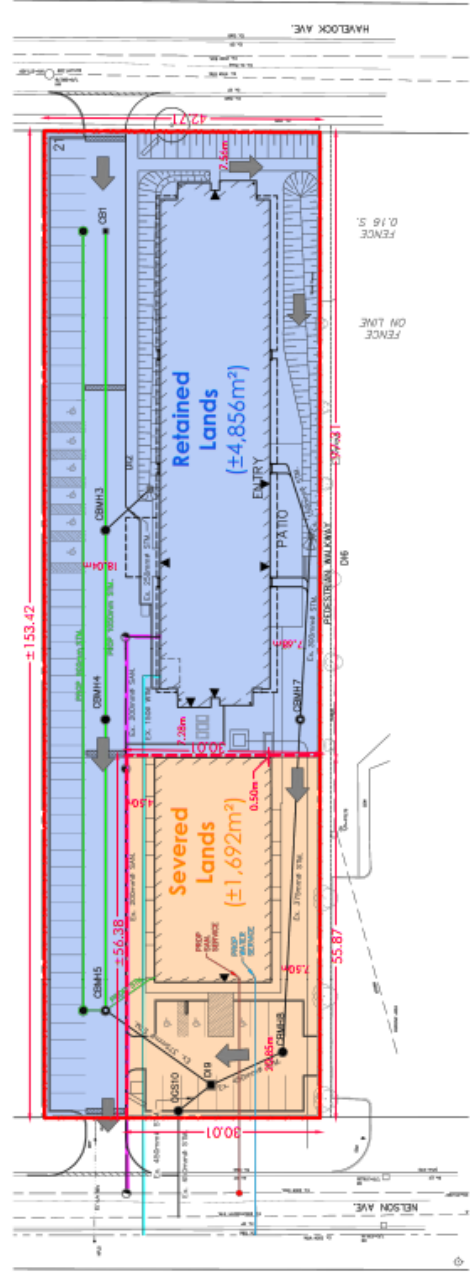


Figure 2 - Site Sketch

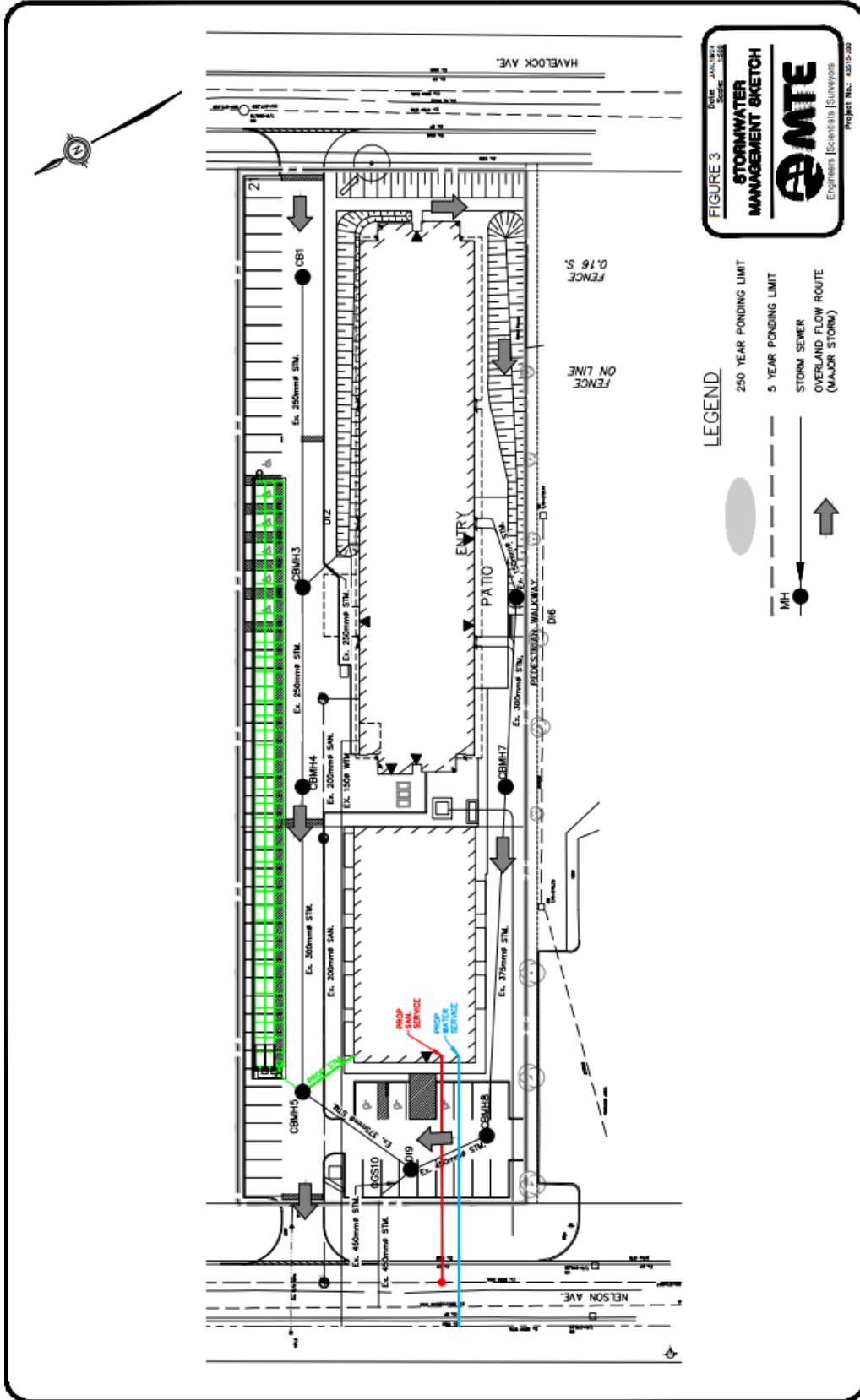


Figure 3 - Potetial Stormwater Scheme



Figure 4 – Image from Nelson Avenue South



Figure 5 – Image from Havelock Ave South

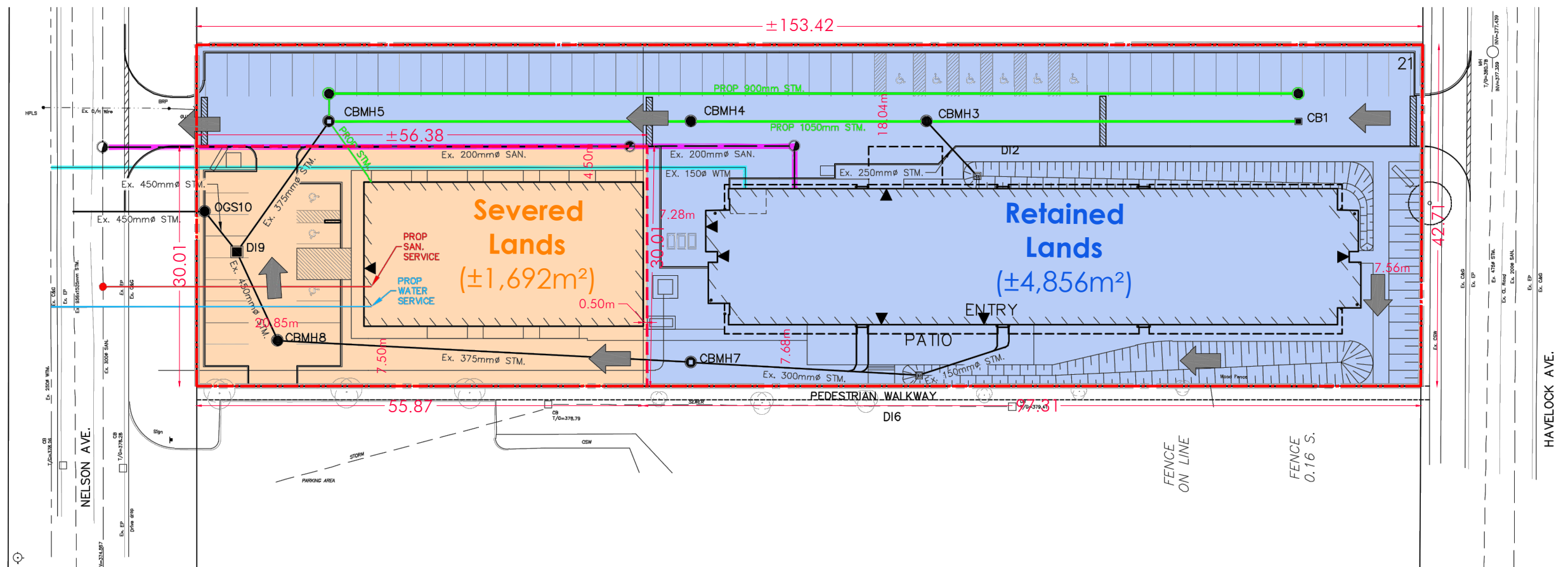
Consent Sketch

TERRA PARK DEVELOPMENT
 PART OF BLOCK 39 REGISTERED PLAN 44M-10
 MUNICIPALITY OF NORTH PERTH
 COUNTY OF PERTH

LEGEND:

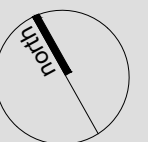
- Subject Lands
- Severed Lands ($\pm 1,692\text{m}^2$)
- Retained Lands ($\pm 4,856\text{m}^2$)

Residential Zone Six (R6) Provisions Municipality of North Perth Zoning By-law		
	Required (min)	Provided
Lot Area	1,000 m ²	4,856m ²
Lot Frontage	20.0m	42.7m
Front Yard	7.5m	7.6m
Int. Side Yard	6.0m	7.6m
Ext. Side Yard	7.5m	n/a
Rear Yard	10.5m	7.3m
Building Height (max.)	12.0m	TBD
Lot Coverage (max.)	40%	28%
Landscaped Open Space	35%	31%
Parking (Long-Term Care Home)	TBD (1 space/ 3 bed)	52 spaces (includes 6 B.F. Parking)



- Notes:**
- Site Plan from M.T.E. January 18, 2024
 - For conceptual purposes
 - To be verified by survey

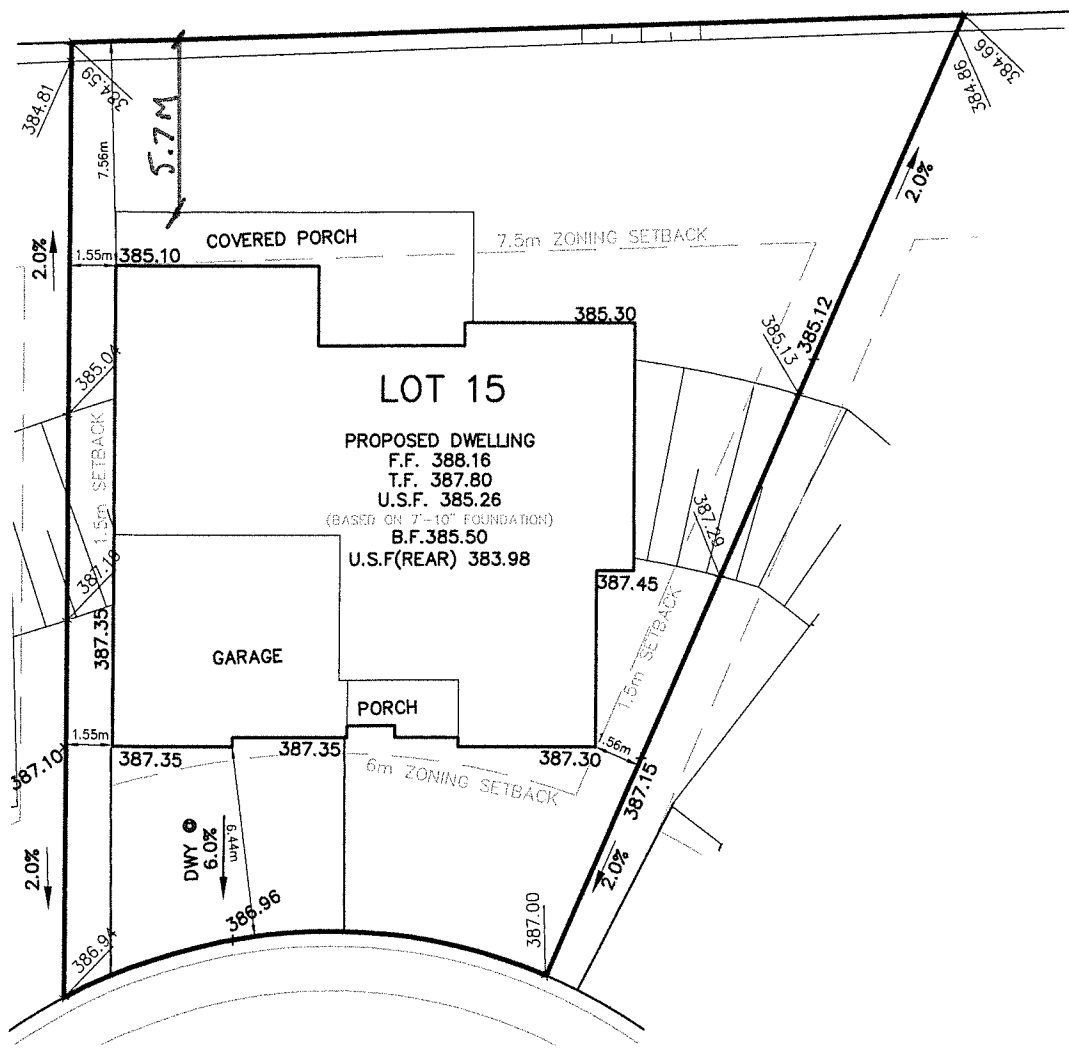
Date: September 18, 2024
Scale: 1:600
File: 17122A
Drawn: PL



K117122A PARK MEADOW SEVERANCE SKETCH/SEVERANCE SKETCH_18SEP2024.DWG







BRIDGE COURT

NOTES

- 1. SKETCH HAS BEEN PREPARED FOR: O'MALLEY HOMES (WATERLOO) INC.
- 2. LOT DIMENSIONS HAVE NOT BEEN VERIFIED BY SURVEY.
- 3. THIS IS NOT A PLAN OF SURVEY AND SHALL NOT BE USED FOR TRANSACTION OR MORTGAGE PURPOSES.

385.45 DENOTES PROPOSED ELEVATION


385.18 DENOTES OVERALL GRADING PLAN ELEVATION BY GM BLUE PLAN.

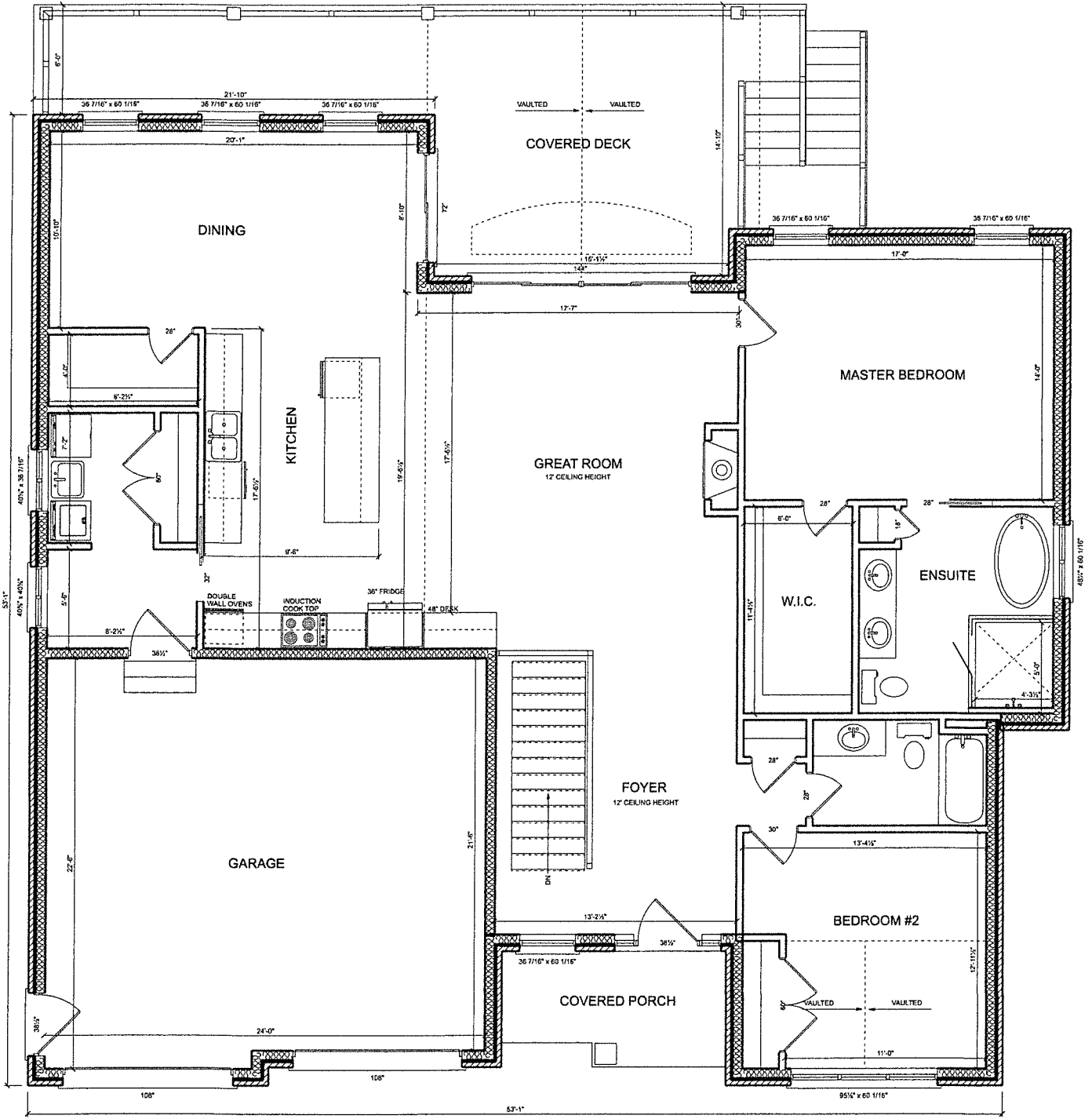
NOTE:
 GARAGE CUT TO BE REVIEWED IN FIELD AND COMPARED TO NEIGHBOURING LOTS AND DISCREPANCIES TO BE REPORTED TO O'MALLEY HOMES.

SITE INFORMATION
 LOT AREA: 717.7 sq.m.
 HOUSE AREA: 247.4 sq.m.
 COVERAGE: 34.5%

LOT GRADING PLAN FOR BUILDING PERMIT APPLICATION OF <h2 style="margin: 0;">LOT 15</h2> EMERALD GREENS SUBDIVISION - PHASE 3 MUNICIPALITY OF NORTH PERTH COUNTY OF PERTH					
 K. SMART ASSOCIATES LIMITED CONSULTING ENGINEERS AND PLANNERS KITCHENER SUDBURY	SCALE 1: 200	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="padding: 2px;">JOB NUMBER #21-100</td> </tr> <tr> <td style="padding: 2px;">DATE SEPT 18/24</td> </tr> <tr> <td style="padding: 2px;">DRAWING NUMBER 1</td> </tr> </table>	JOB NUMBER #21-100	DATE SEPT 18/24	DRAWING NUMBER 1
JOB NUMBER #21-100					
DATE SEPT 18/24					
DRAWING NUMBER 1					



 MALLEY HOMES 169 LEXINGTON COURT UNIT H, WATERLOO, ON (519) 897-6322 design@malleyhomes.ca	SCALE: 3/16"=1'-0"	DATE: Friday, September 25, 2020	A2
	MODEL: CUSTOM		
	LOT NO: 15 BRIDGE COURT, LISTOWEL		
	DRAWINGS BY: M.T.		



MAIN FLOOR PLAN 2030 SQ.FT.

<p>O'MALLEY HOMES 169 LEXINGTON COURT UNIT H, WATERLOO, ON (519) 897-6322 design@omalleyhomes.ca</p>	SCALE: 3/16" = 1'-0"	DATE: Proposed, September 20, 2011	A1
	MODEL: CUSTOM		
	LOT NO: 15 BRIDGE COURT, LISTOWEL		
	DRAWINGS BY: M.T.		





APPLICATION FOR MINOR VARIANCE

To: Municipality of North Perth Committee of Adjustment
Prepared by: Nathan Garland, Planner
Date: October 15th, 2024
File: MV7-2024
Owner: O’Malley Homes (Waterloo) Inc.
Location: Legally described as Lot 15, Plan 44M-83, in Listowel. The property is located on the North side of Bridge Court, east of Gilmer Crescent and is municipally known 7 Bridge Court.
Attachments: Report Photo
Site Sketch
Site Photo from Bridge Court

Recommendation

THAT the North Perth Committee of Adjustment **approve** application file MV7-2024 submitted by O’Malley Homes Inc., for lands described as Lot 15, Plan 44M-83, as it relates to:

1. Relief from Section 7.2.6, to reduce the minimum rear yard depth from 7.5 m (25 ft) to 5.7 m (18.7 ft) to facilitate a covered deck at the rear of the dwelling, subject to the following conditions:
 - i. That approval is granted for 18 months from the date of the Committee’s decision; and
 - ii. That a lot grading and drainage plan is submitted and approved to the satisfaction of the North Perth Building Department.
-

Background

Perth County Official Plan	Settlement Areas – Serviced Urban Areas
Listowel Official Plan	Residential
North Perth Zoning By-law	Special Residential Zone One (R1-9)
Surrounding Uses	Residential and the Listowel Golf Course

Comments

(a) Purpose of the Application

The subject application for minor variance is requesting to reduce the minimum rear yard depth to facilitate a covered deck which is proposed to extend into the rear yard by 1.8 m (5.9 ft) to the rear of the future dwelling. The subject property is located in the Town of Listowel and is currently vacant with single detached dwellings on either side.

(b) Agency Comments

None at the time of writing the report.

(c) Public Consultation

Public notice was provided to the neighbouring property owners on October 4th, 2024 in accordance with the requirements of the Planning Act. At the time of writing this report, no comments or concerns have been received from the public.

(d) Intent and Purpose of the Official Plan

The subject lands are designated Residential according to the Listowel Official Plan. The minor variance is to allow for a small addition at the rear of a future single detached dwelling. Currently the area has some trees and backs onto the Listowel Golf Course. No changes to the Listowel Official Plan designation are required to support the application. Official Plan Policies outlined in Section 5.5.5 outline the goals within the Residential Single-Detached – Section 5.5.5 (a) states:

“...In cases where one or more of the existing zone provisions are not met, an amendment or a minor variance to the zone provisions may be considered to permit the proposed development provided that the spirit of this Section is maintained;”

The property supports residential development with a minor variance being requested to allow for expansion of the living space.

(e) Intent and Purpose of the Zoning By-law

The subject lands are zoned Special Residential Zone One (R1-9) according to the North Perth Zoning By-law. The zone permits single detached dwellings and accessory structures. The site-specific zoning permits a maximum lot coverage of 50%.

The intent of the rear yard depth provision is to ensure that adequate space is provided for private amenity area, grading and drainage and separation from neighbouring properties.

Staff are of the opinion that the proposed rear yard encroachment will not impact the neighbouring property abutting the rear yard as it is a golf course. Further, proposed deck does not exceed the maximum permitted lot coverage. The proposed conceptual development meets all other relevant requirements of the Zoning By-law. As such, the minor variance application maintains the general intent and purpose of the North Perth Zoning By-law.

(f) Desirable Development/Use

It is the opinion of this Office that the requested relief to accommodate the proposed addition can be considered minor and desirable for the development of the subject property. The proposed addition is not anticipated to have a negative impact on the neighbouring properties as the addition will not exceed the maximum lot coverage for the R1-9 zone and meets the minimum interior side yard provisions. The property is impacted by the cul-de-sac bulb, and is considered slightly shorter than the adjacent properties, therefore the variance facilitates a similar size and use as the adjacent dwellings. As previously indicated, the subject property also backs onto the Listowel Golf Course and side yard setbacks are being met, therefore will not impact any development adjacent to the rear of the property.

In light of the foregoing, planning staff recommend the approval of Minor Variance Application MV7-2024 as the proposed change is considered to be minor in nature, appropriate for the development and use of the land, and is considered to maintain the general intent and purpose of the Zoning By-law and the Official Plan, pursuant to Section 45(1) of the *Planning Act*.

Authored by: Nathan Garland
Planner


Approved submission by: Andrea Hächler
Director of Planning

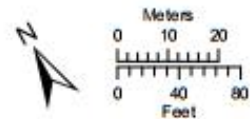
MUNICIPALITY OF NORTH PERTH
Lot 15, Plan 44M83, Listowel Ward (7 Bridge Crt)
Application for Minor Variance
by O' Malley Homes



Perth County
Cultivating Opportunity

PHOTO DATE: 2020
October 02, 2024

 AREA SUBJECT TO PROPOSED
MINOR VARIANCE



vperthcounty\local\data\documents\Planning Land Use Admin\2-Working\013 Variance\North Perth\2024\W7-2024 - O'Malley\GIS\W7-2024 O'MALLEY REPORT PHOTO.mxd

Figure 1 - Report Photo

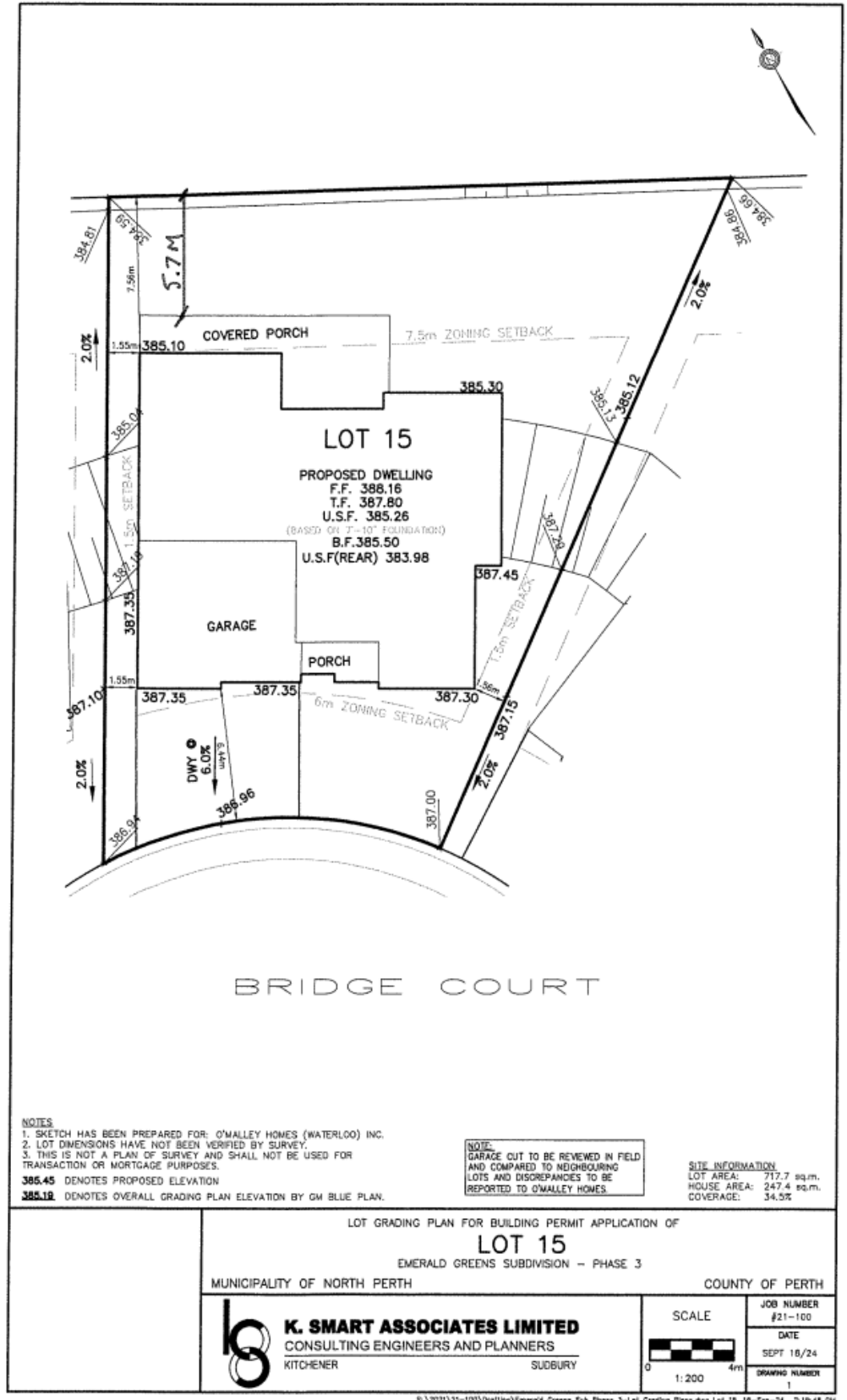


Figure 2 - Site Sketch



Figure 3 - Site photo looking North West



Figure 4 - Site Photo looking North East